

Options Appraisal
for:

**Changing Places WC Facilities
and Accommodation for
My Day My Life Service**

**In:
Abergavenny and Monmouth**

**Sept 23
Final, for issue**

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Contents

Section	Contents
1.0	Introduction and Background
2.0	Strategic Accommodation Requirements Option Sites- Summary
3.0	Accessible WC Provision/ Changing Places WC Accommodation
4.0	Projected future day service provision and effects on likely accommodation needs
5.0	Budget costs and likely build programme
6.0	Site Options
6.1	Option 1: Tudor St Day Centre
6.2	Option 2: Melville Theatre
6.3	Option 3: Abergavenny Community Centre (former Park St School)
6.4	Option 4: Overmonnow Family Learning Centre
6.5	Option 5: Monnow Vale Health & Social Care Unit
6.6	Option 6: Bridges Centre, Drybridge House
Appendix A	Photograph schedule
Appendix B	Approved Document M Wales Accessible WC layout BS8300 Changing Places WC layout Approved Document M Wales, Changing Places threshold areas/ user number values
Appendix C	Budget Costs

Options Appraisal for Changing Places WC Facilities and Accommodation for My Day My Life Service

The My Day My Life group (MDML) is a service which provides day opportunities support to people with a learning disability. It is understood that the service supports people to take part in activities in the wider community and needs a permanent base where users can meet and undertake activities as well. The service currently operates 5 days a week and it is understood there are between 2-3 people being supported each day in both Abergavenny and Monmouth.

Prior to the start of the covid pandemic in 2020, the service was based at a former school building on Tudor Street in Abergavenny and Overmonnow Family Learning Centre in Monmouth.

During covid the buildings were temporarily closed and people received support in the community only. People are currently taking part in activities at many other local buildings including the Melville Theatre and Bridges Community centre.

The Tudor Street site is temporarily closed, and the Council has identified that this site is now in need of refurbishment and repair to bring it to a safe and acceptable standard for re-occupation.

This report considers feasibility options at six sites for provision of a Changing Places WC facility, and accommodation more generally for the My Day My Life service.

A joint site visit was carried out at option sites 1-4 inclusive with the report author, Rhodri Dean and MCC Officers on 23rd August 2023.

A second joint site visit was carried out at option sites 5 and 6 with the report author, Rhodri Dean and MCC Officers on 21st September 2023.

MCC Officers in attendance at the first site visit (option sites 1-4, 23rd Aug) were:

Nicholas Perry (Maintenance and Facilities Manager)

Andrew Porter (Building Surveyor)

Phil Wall (Electrical Clerk of Works)

Peter Sherwin (Mechanical Maintenance Engineer)

MCC Officers in attendance at the second site visit (option sites 5 and 6, 21st September) were:

Andrew Porter (Building Surveyor)

Sandra Dobbs (Daytime Opportunities Manager)

2.0 Strategic Accommodation Requirements and Option Sites- Summary

The client has advised that day centre accommodation for provision of MDML, and/or similar other groups is required in both Abergavenny and Monmouth. Accordingly, this report considers possible sites in both towns.

The option sites considered as part of this report are as follows:

- a. Tudor Street Building, Abergavenny
- b. Abergavenny Community Centre, Abergavenny (this is the former Park Street school building).
It is understood that this property is owned by MCC, but leased out to a Trust. Therefore, consent would be required from the trustees for any proposed alterations.
- c. Melville Theatre, Abergavenny
- d. Overmonnow Family Learning Centre, Monmouth
- e. Monnow Vale Health and Social Care Unit, Monmouth
- f. Bridges Centre, Drybridge House, Monmouth

The report discusses opportunities and technical constraints relating to accessibility at each site.

A photograph schedule is provided at appendix A at the end of the report.

Budget costs are provided at appendix C for anticipated accessibility improvement works.

3.0 Accessible WC Provision/ Changing Places WC Accommodation

During the site visits, there were various discussions about the appropriate level and type of Accessible WC provision/ Changing Places WC accommodation which should reasonably be provided to meet the needs of:

- a. The My Day My Life group users:
- b. The wider public

The comments below discuss the relevant issues which will apply to all of the option sites.

There will be a need to balance the interests of various different user groups as it would be very unlikely to be able to fully satisfy the needs of all possible users taking into account the space, locations, layout and technical constraints of the existing buildings.

In terms of designing a service, the Council should undertake an Equality Impact Assessment as part of the service design process to inform decisions regarding how to best meet service user needs, and to avoid discrimination. In this case, as noted above there would need to be a careful balancing of different needs.

Relevant Issues regarding Accessible WC/ Changing Places WC Accommodation:

- a. A corner layout Accessible WC facility (typically approx 2.2m x 1.5m with the WC located in the corner of the room) meets a very different need to a Changing Places WC facility.

An Accessible WC facility, if correctly sized and laid out, is useable by wheelchair users independently. The grabrails around the WC are designed to provide sufficient support to allow for users to transfer independently to and from the WC.

By contrast, a Changing Places WC facility is designed for use by disabled users with assistance. This facility involves provision of a room 3 x 4m with a WC set away from the corner (to allow for assistance to either, or both sides of the user). The facility also includes a changing bed, hoist, and shower. This type of facility is designed for people who have more

profound and complex disabilities and it is not suitable for independent use by wheelchair users as the grabrail support around the WC is not sufficient.

Accordingly, a Changing Places WC facility should not be provided instead of an Accessible WC facility as the two facilities meet the needs of different user groups.

Sample layouts of an Accessible WC compartment and a Changing Places WC facility are provided at Appendix B. These are taken from BS8300-2 Design of an Accessible and Inclusive Built Environment

- b. There was discussion around provision of a Changing Places WC facility at the option sites, and opening this up for general public use, in addition to it meeting the needs of the MDML group.

Publicly accessible Changing Places WC facilities are best located in busy public spaces where there are large numbers of people using the spaces. Provision of these facilities will allow people with more profound and complex disabilities to visit a greater range of places and stay at them for longer. Examples of the types of spaces which would be good locations for a publicly accessible Changing Places WC would be:

Town Centre Locations

Large retail, entertainment, leisure, assembly premises

Large schools, hotels

Hospitals

A requirement to provide Changing Places WC facilities in certain large buildings was introduced into the Building Regulations in Wales in Jan 2023. This defines floor area thresholds/ number of user thresholds for the various building types, over which a Changing Places WC facility would now be required to comply with Building Regulations.

None of the option sites would be large enough for a Changing Places WC facility to be required to comply with Building Regulations as they are not of sufficient size.

The threshold values from the Building Regulations Approved Document M amendment dated Jan 23 are included at appendix B.

If the Council is considering provision of a Changing Places WC facility for general public use, this would be better sited more centrally within a town centre location as it would more likely benefit a larger range of users.

In addition, consideration should be given to the opening hours of any building which accommodates a Changing Places WC facility for general public use, as for this to be of most benefit to users, it needs to be open and available for use for as much as possible.

- c. From discussions during the site visit, it is understood that the MDML group currently does not have any users who would require use of a Changing Place WC facility, although there is no reason why a user who does require this facility could not attend the MDML group, so it is appropriate to consider making this provision.

However, given the limited number of service users and building/ space constraints at the various option sites, it may be appropriate to consider a reduced form of Changing Places WC provision which goes some way to meeting potential needs without being fully compliant to BS8300 specifications. The possible compromise solutions are identified with the discussion of each of the option sites in the sections below, and scope of proposed Accessible WC/ Changing Places WC facilities are identified under each site with highlighted text under the heading: **WC facilities proposal**

4.0 Projected future day support service provision and effects on likely accommodation needs

During the site visit, the group were able to discuss the likely future of day centre service provision with MCC's Daytime Opportunities Manager.

It is understood from this discussion that the service is in a process of transformation, in that there is less demand from users to attend a day service regularly for set hours/ days each week.

It is understood from MCC that the service has been moving away from only centre based support for some time, offering a mix of centre and community based support. People who might previously have only attended a dedicated day centre now take part in wider integrated community provision where service users can interact and integrate with the community more generally. Assuming this trend continues, this would mean that the numbers attending the service are likely to remain low.

5.0 Budget costs and likely build programme

Budget costs:

Budget costs are provided at appendix C for the proposed alteration works suggested at each site.

These costs are high level budget costings based on a combination of market rates, builders price book (Spons), and the authors experience/ comparable schemes.

The costs are 'ball park' costings based on facility size/ scope and a visual walkround inspection. There are potentially substantial unknowns at this stage given limited inspection and knowledge about the sites/ building construction etc. Particular examples of unknown work elements relate to eg structural works required, presence of asbestos etc etc

In terms of proposed WC provision, one proposal which has been put forward at some of the sites relates to provision of a Changing Places WC facility which is set out with the WC in the corner of the room to allow for grabrailling etc to be provided to enable it to be used independently. This departs from the standard layout for a Changing Places WC and would reduce it's utility for some users who require assistance (as assistance would only be possible from one side of the WC). This solution might be necessary/ appropriate where it is not feasible to provide both a corner layout accessible WC for independent use, *and* a Changing Places WC facility. In terms of the budget cost, the cost difference between provision of this

'hybrid' option, and a fully compliant Changing Places WC facility is likely to be minimal as the rooms size and scope/ specification of equipment and fit out would be broadly similar. The main difference would be that the position of the WC within the room is altered.

Likely build programme:

Undertaking the works will in some cases have an effect on use of the rest of the building as the contractor will need to use routes through the building and there is dust/ noise to consider.

The programme therefore would preferably involve a quieter time of year so as to mitigate effects on other building users. Unless existing building users can be decanted to alternative premises for the duration of the works.

Prior to start on site, a period needs to be allowed for undertaking the planning, design and tender process.

In terms of build time on site, it is difficult to assess this accurately based on the limited information available. There are unknowns which could affect the programme eg amount of structural work, asbestos strip out, long lead times on specialist equipment etc etc. A more detailed picture will emerge following full site surveys, investigations and consultation with specialists. However, for the purpose of providing some guidance on likely programme, see comments below:

For the more straightforward options eg Monnow Vale, Bridges Centre the build is likely to be around 8-10 weeks assuming that the changing places work can be done concurrently with other works eg resurfacing outside.

For the options which require more work eg Melville, Overmonnow, Tudor Street, Abergavenny Community Centre would take longer, say 12-16wks, again assuming that different elements of work could be undertaken concurrently.

6.0 Site Options

6.1: Site Option 1: Tudor Street Building

Background/ Overview:

- Site previously used by MDML. Has accessible facilities, but is in need of upgrade/ refurb to bring it up to an acceptable standard;
- The building is considerably oversized, given the small size of the MDML group (assuming that post refurb the building would only be used by the MDML group);
- Accessible WC facilities including hoist, changing bed and shower are provided, but these facilities are provided across two rooms and the size/ layout does not comply with current standards.
- WC facilities proposal:

Could achieve a fully compliant Changing Places WC facility and Accessible WC facility, but this would be costly and involve extensive remodelling of existing layout/ spaces. Query to what degree fully compliant facilities are necessary, given that the existing facilities were sufficient to accommodate user needs when they were using this site prior to 2020.

Summary of proposed upgrade/ refurb works:

See spreadsheet at appendix C for budget costings.

- Resurface/ remark part of the car park
 - Refurbish the approach path
 - Upgrade/ refurbishment to external areas, including inclined path to fire assembly point
 - Provide an accessible tea point facility
 - Improvements to WC facilities (Budget cost for some improvement/ exact scope TBC. See comments above)
 - Redecoration throughout
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- M&E Services: Replace radiators with LST type in vulnerable locations, provide flashing fire alarms to toilet areas, lower light switches, improve external lighting over approach path/ car park

6.2: Site Option 2: Melville Theatre

Background/ Overview:

- Listed building. Proposed alterations would need consultation with the Conservation Officer/ Listed Building Consent;
 - Site currently used by MDML for some community activities. Has a level access from the car park into the building, although the approach path and entrance door are not wide enough. The approach path has a drop off at the edge. This presents the risk of wheelchair wheels or the end of a stick or cane from falling over the edge;
 - An Accessible WC compartment is provided for independent use. This would require some upgrade work to bring it into line with current standards. There is no Changing Places WC facility. During the site visit, a proposal to accommodate a Changing Places WC facility was discussed by enlarging/ reconfiguring the Accessible WC using a disused corridor adjacent, but due to space constraints it would be difficult to accommodate both an Accessible WC facility and a Changing Places WC facility on site;
 - WC facilities proposal:
1 x Changing Places WC facility (compromise layout) with WC in corner of room to allow for independent use
 - Although there is a level access into the building, the other entry/ exit points are stepped. A secondary egress route would be required. This will require construction of a fire rated refuge area.
-

Summary of proposed upgrade/ refurb works:

See spreadsheet at appendix C for budget costings.

- Resurface/ remark part of the car park
- Refurbish and widen the approach path
- Replace the entrance doors/ fit power operation
- Creation of a Changing Places WC facility/ Upgrade to existing Accessible WC
- Construction of a protected fire refuge to achieve secondary means of escape
- M&E Services: Replace radiators with LST type to corridor and one room, provide flashing fire alarms to toilet areas, lower light switches, fit hold open device to cross corridor door, improve external lighting over car park/ approach path
- Provide an accessible tea point facility
- Replace flooring to part of the classroom area with sheet vinyl to accommodate Art/ cooking activities

6.3: Site Option 3: Abergavenny Community Centre (former Park Street School)

Background/ Overview:

- Site currently used as a community centre. In MCC ownership, but leased to a Trust. Therefore consent would be required from trustees for any proposed alterations;
 - The building is split level, with three separate ground floor levels. The proposed MDML activity/ classroom space is located on the middle floor level, the accessible WC (for independent use) is located on the upper floor level, and the proposed Changing Places WC facility is located in a separate part of the building at the lower floor level. This is only accessed from the middle and upper floor levels via an external ramped route around the building;
 - The route from the car park to the building is inclined. The incline either needs a formal ramp, or provision of a parking/ drop off area at the top of the slope closer to the building, although this would mean provision of paved surfacing to replace an area of recreation/ garden area and this may not be desirable.
-

It is understood that the Trustees already take vehicles up the inclined access road to provide pedestrian access to the lowest level of the property. This also provides access to formal external ramps providing access to the upper levels.

The current arrangement would require vehicles to reverse back down the access road after drop off as there is no turning head at the top. It is considered that a turning head at the upper level would be required to formalise the existing arrangement on safety grounds;

- Proposed changing place WC facility:

There is an existing WC/ shower facility provided at the lower building level. It is proposed that this area could be refurbished to accommodate a Changing Places WC facility. This is in a separate part of the building from the rest of the facilities, which are at an upper floor level (in the main part of the building). Users would need to travel along an external, ramped route to circulate between the proposed activity

space/ classroom and the Changing Places WC facility. This is undesirable, especially in cold or wet weather.

The entrance to the area where the proposed changing places WC is located has a raised threshold, and the doors do not provide adequate clear opening in a single leaf. The proposed changing places room is a large room, which already accommodates a WC and shower. The room would need full refit/ refurbishment. The room is slightly undersized, but it may be possible to enlarge it slightly as part of a refurb.

The ceiling height in this room is 2.1m. This is too low to accommodate an overhead tracked hoist, although a portable hoist would work in this space. Care would need to be taken in terms of keeping the ceiling clear of light fittings etc so as to maximise the effective height. It should be noted that use of a portable hoist is a less desirable

option taking into account the additional floor space required to turn/ move and store the portable hoist. Consideration would need to be given to the overall room size and

layout to allow for the turning/ manoeuvring and storage space for a portable hoist and to check that this will work in the space provided.

- Existing external ramps:

The external ramps do not meet the 1500mm clear width requirement as per Building Regulations/ BS8300, but for low user numbers the width of the flights is likely to be suitable. Consideration could be given to improving the turning space on the landings where practical

- Existing corner layout Accessible WC:

The compartment size/ fit out is broadly acceptable, although some amendments would be required to improve it eg adjust door position/ swing, investigate reducing boxing inside the compartment, improve visual contrast, minor alterations to internal fit out;

- WC facilities proposal:

1 x Changing Places WC facility

1 x Accessible WC facility

- Ramp to classroom:

The ramp is narrow and too steep. The ramp would need replacement with a platform lift as a compliant ramp could not be achieved within the space;

- Classroom/ Activity Space:

An accessible kitchen area/ tea making facility would be required, plus other minor alterations eg lower light switch, rehang door on opposite hand, replace radiators with LST type.

Note:

It is understood that there is a separate teaching kitchen facility. This was not inspected as part of the visit, and accordingly no comment is made regarding these facilities.

- Means of escape:

The exit route outside the classroom involves use of steps. There is no refuge area or evac chair provided. These would be required.

Early discussion would be required with the building's fire risk assessor to confirm that a suitable refuge area could be provided clear of the main escape route.

Summary of proposed upgrade/ refurb works:

See spreadsheet at appendix C for budget costings.

- Resurface/ remark part of the car park
- Either provide a ramp from the car park to the building, or provide a drop off area at the upper level
- Replace the entrance doors to the changing places WC area/ fit power operation
- Full refurb/ refit of the proposed Changing Places WC facility
- Improvements to existing external ramps, particularly to enlarge landings where feasible;
- Upgrade to existing Accessible WC (see notes above under background/ overview)
- Replace steep ramp with platform lift
- Classroom: Provide accessible kitchen/ tea point, rehang door on opposite hand to improve manoeuvring space
- Replace part of the floor finish with sheet vinyl to accommodate art/ cooking activities
- Construction of a protected fire refuge to achieve secondary means of escape
- M&E Services: Replace radiators with LST type to corridor and one room, provide flashing fire alarms to toilet areas, lower light switches

6.4: Site Option 4: Overmonnow Family Learning Centre

Background/ Overview:

- Property location is Monmouth and is one of the MDML bases in that locality. It has been temporarily closed since the start of the Covid pandemic in March 2020;
 - Approach: Via a narrow lane. Not suitable for pedestrian approach. Consider upgrade to approach route;
-

- Car park: Surface is relatively smooth/ even;
- Building entrance: Ramp plus stepped access provided. The ramp is steeper than 1:12 and step configuration does not meet current standards. The ramp and stepped approach would need to be replaced;
- WC facilities: The existing accessible WC is broadly in line with current standards, although minor improvements to fit out would be required.
In order to provide a changing places WC facility, the whole of the WC area would need to be remodelled and refurbished.
Replacement WC facilities would likely include:
 - a. Changing Places WC facility (compromise type facility) with WC sited in the corner of the room so that it can also serve as an Accessible WC for independent use;
 - b. PLUS: 2 x unisex WC facilities for general male/ female use.

This would result in a reduction in overall toilet facilities, but this may be acceptable given the small size of the building and limited user capacity. Although this should be discussed with Building Control.

- WC facilities proposal:
1 x Changing Places WC facility (compromise layout) with WC in corner of room to allow for independent use
- Classroom/ kitchen/ means of escape:
Classroom and means of escape off the classroom appeared reasonably suitable.
Kitchen is designed with rise and fall facilities and appeared reasonably accessible.

Summary of proposed upgrade/ refurb works:

See spreadsheet at appendix C for budget costings.

- Improve pedestrian approach into the site
 - Replace ramp and stepped approach to the main entrance
-

- Full remodelling and refurb of toilet area to accommodate Changing Places WC facility

6.5: Site Option 5: Monnow Vale Health & Social Care Unit

Background/ Overview:

- Property location is Monmouth and has in the past been used as one of the MDML bases in that locality;
 - The building is of modern (post 2000) construction, with consideration given throughout to meeting current accessibility standards;
 - The building is run by the NHS, but there is an historic agreement for MCC to have exclusive use of two rooms within the building (the Oak room, G24)
 - The building accommodates integrated health and social care services. There are other groups already using the building and there is an on site café facility. Historically the MDML group members when using this site as a base made use of the café facility. In addition, there were opportunities for integration with other groups on site. These factors are regarded as positive attributes aside from the physical building characteristics;
 - External paving and approach is smooth and level. There are a number of well marked accessible parking bays with necessary hatched zones between. The main entrance has automatic doors and a level threshold. The corridor through the building to the proposed MDML suite is relatively wide and the internal doors are of adequate width;
 - Although the building does not a full changing places WC facility, there is a range of accessible toilet facilities located relatively close to the proposed suite for the MDML group. The accessible toilet facilities include:
 - Corner layout toilets for independent use;
 - Peninsular layout accessible toilets for assisted use, including peninsular layout toilets with a tracked hoist facility. There is also a range of auxiliary aids provided within the building to assist users with toileting.
-

Some of the fit out in the toilets was noted to be compliant to current standards in terms of positioning, but it has presumably adequately met user needs given the nature of services provided from the building and the users.

- WC facilities proposal:

Existing corner and peninsular layout accessible toilets within the building would meet a range of needs.

Proposed: Provision of a dedicated Changing Places WC facility within the proposed MDML suite area

- Classroom/ tea point/ sink:

The existing spaces would need some reconfiguration in conjunction with providing a Changing Places WC facility. There is an existing tea point/ sink. This will need to be reprovided in conjunction with work to provide a Changing Places WC. This is included for in the cost estimate;

- Access/ Means of escape:

There is a fire escape door off the proposed suite for MDML. This incorporates a step. The door would need alteration in conjunction with provision of a Changing Places WC facility. There was discussion at the meeting about whether the fire exit could be used as a regular access door, which would allow the MDML group to use the space at times when the rest of the building is closed (eg weekends).

Summary of proposed upgrade/ refurb works:

See spreadsheet at appendix C for budget costings.

- Provide Changing Places WC facility
 - Reconfigure the suite to provide improved activity space for MDML group, inc alterations to central partition wall, and replacement floor finishes and redecoration.
 - Reprovide tea point facility
 - Replace double fire exit doors with new single leaf access door, and provide ramped access to new door.
-

6.5: Site Option 6: Bridges Centre, Drybridge House

Background/ Overview:

- Property location is Monmouth. The site is a community centre facility;
 - The site is run by a Trust. It is understood that MCC would need consent from trustees for any proposed alteration works;
 - Accessible parking is provided in front of the building, although some improvements would be required to the vehicle approach and parking facilities in terms of improving surfacing;
 - There is an accessible WC for independent use. This is undersized, and it is accessed via a relatively narrow corridor/ door off the foyer and tight turn into the WC facility. The accessible WC has overall dimensions of 1770 x 1880mm. The minimum recommended dimensions are 1500 x 2200mm. The reduced length of the existing facility will affect wheelchair manoeuvring space in the compartment;
 - The site also has a Changing Places WC facility, although this is also undersized. The existing facility has room dimensions of 2.9m x 2.3m. The minimum recommended dimensions for a fully compliant changing places WC facility are 3m x 4m. There is the facility to knock through into an adjacent WC area which would enable a fully compliant BS8300 Changing Places WC to be provided;
 - The existing Changing Places WC facility has a ceiling mounted hoist, but this is not a full room cover type hoist, and there is no shower facility provided in the existing facility.
 - It is understood that MCC have received feedback from users that the existing Changing Places WC facility is adequate and that it meets needs.
-

- WC facilities proposal:

1 x Changing Places WC facility (compromise layout) with WC in corner of room to allow for independent use

Note:

- a. The compromise layout is recommended as the existing corner layout accessible WC is undersized and has an approach which will be awkward for some disabled users to negotiate;
 - b. The budget cost assumes that enlargement/ remodelling of the existing Changing Places WC facility is considered appropriate and necessary to achieve a closer compliance with the BS8300 standard layout, given the wider community use of the building and likely use by a larger user group.
- Fire exit off classroom:
The fire exit is ramped, but surfacing and drainage away from the exit to the fire assembly point are sub standard. The surface is uneven and there is silt from standing water on the surface which presents a potential slip risk.

Summary of proposed upgrade/ refurb works:

See spreadsheet at appendix C for budget costings.

- Upgrade works to parking external approach;
 - Enlarge/ convert and refurbish existing Changing Places WC facility to form a compliant facility;
 - Resurfacing and drainage improvements to route outside the fire exit door
 - Provision of an accessible tea point/ sink in the classroom area
-

Appendix A

Photograph Schedule

Tudor Street CYbIfY



Photo 1 – Car park



Photo 2 – Pedestrian access route



Photo 3 – Uneven path to rear



Photo 4 – Kitchen, no accessible facilities



Photo 5 – WC with hoist and changing bed. Restricted manoeuvring space/ room undersized. WC in corner does not allow for assistance from either side

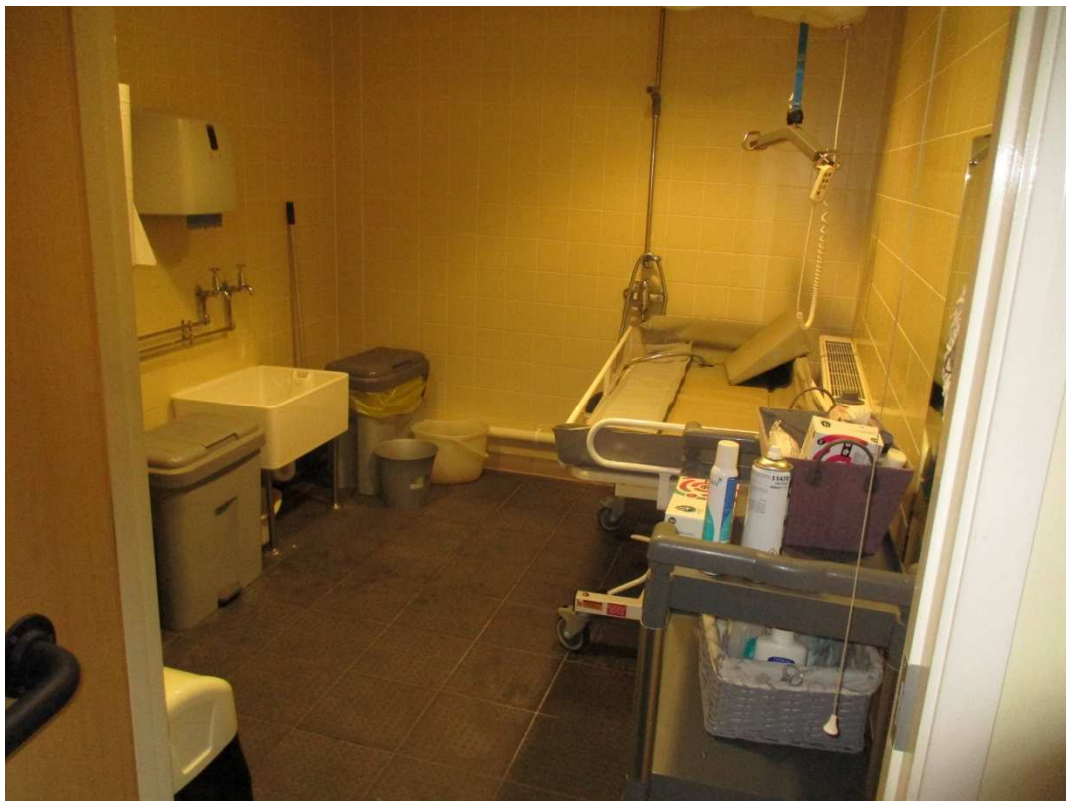


Photo 6 – Shower room with shower bed. Restricted manoeuvring space. Shower is separate from WC/ changing room

Melville Theatre



Photo 7 – Car park



Photo 8 – Narrow approach path to entrance.



Photo 9 – Drop off at edge of path.

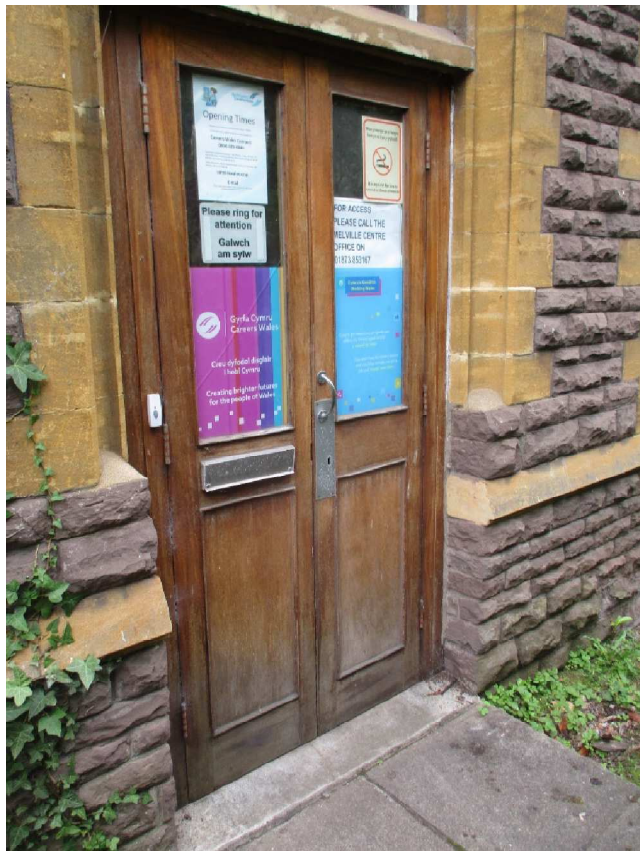


Photo 10 – Raised threshold/ narrow entrance doors



Photo 11 – Accessible WC



Photo 12 – Cross corridor door, not held open.



Photo 13 – Main entrance with stepped access. No refuge area to provide alternative egress route for wheelchair users.

Overmonnow : Ua JmCentre



Photo 14 – Accessible WC.



Photo 15 – Entrance ramp/ steps

Park Street Community Centre



Photo 16 Inclined route from car park to building.



Photo 17 Raised threshold/ narrow entrance doors on route to Changing Places WC.



Photo 18 – Existing WC/ shower facility/ Proposed upgrade to Changing Places WC
Low ceiling height will prevent install/ use of tracked hoist.

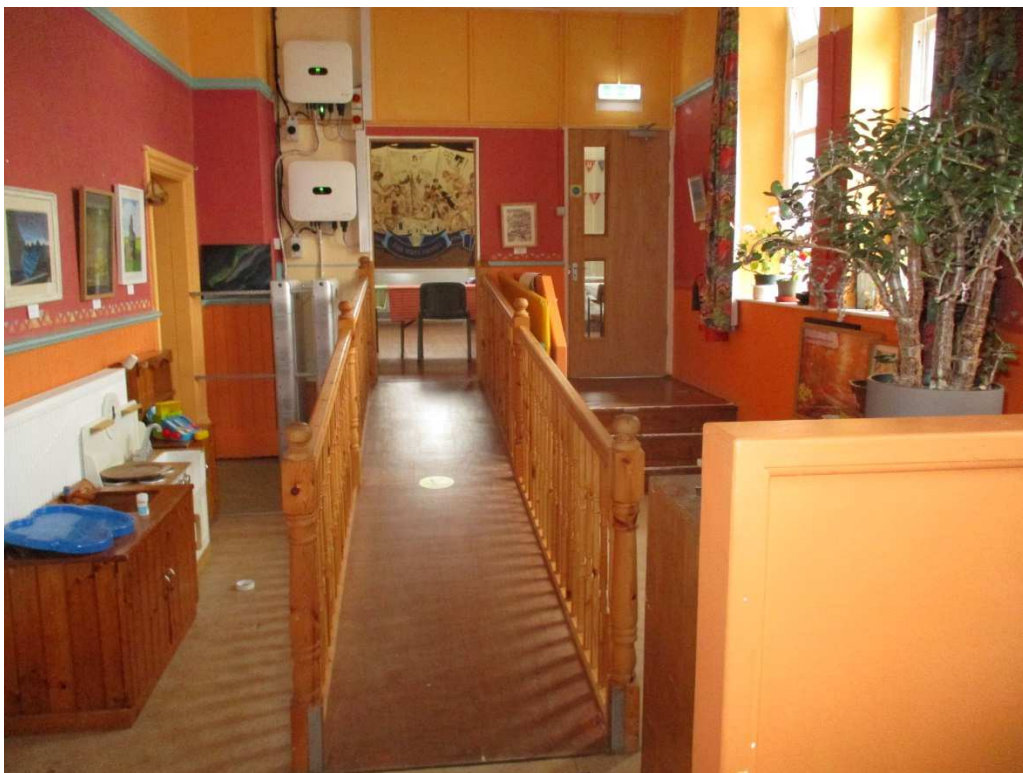


Photo 19 – Steep/ narrow ramp on route through building.



Photo 20 – Restricted access adjacent leading edge to Accessible WC door.



Photo 21 – Restricted access adjacent leading edge to classroom door.

Monnow Vale Health & Social Care Unit



Photo 24 One room proposed for MDML suite.



Photo 25 Peninsular layout accessible WC facility.

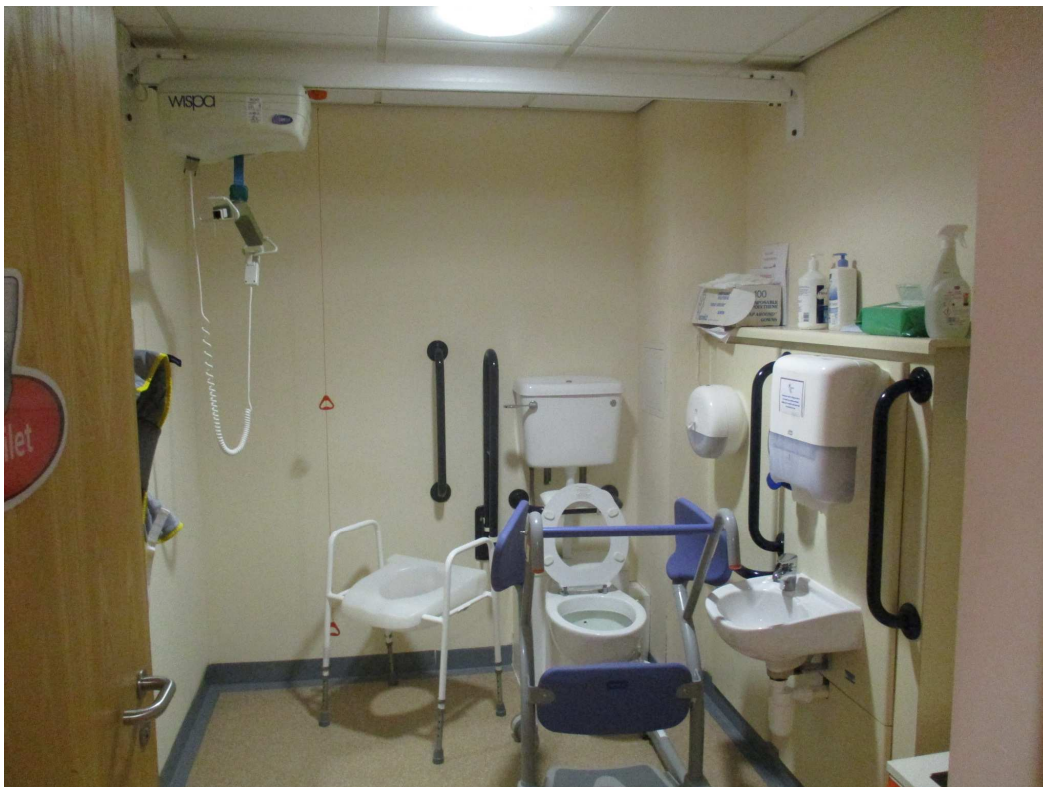


Photo 26 Corner layout Accessible WC, with various toiling aids and tracked hoist.



Photo 27 Level entrance/ automatic entrance doors.

Bridges Centre, Drybr]X[Y House



Photo 28 Level approach and auto entrance doors



Photo 29 Some uneven surfacing to parking area.



Photo 30 Existing undersized Changing Places WC.



Photo 31 Existing Changing Places WC.



Photo 32 Uneven surfacing/ inadequate drainage on route from fire exit.

Appendix B

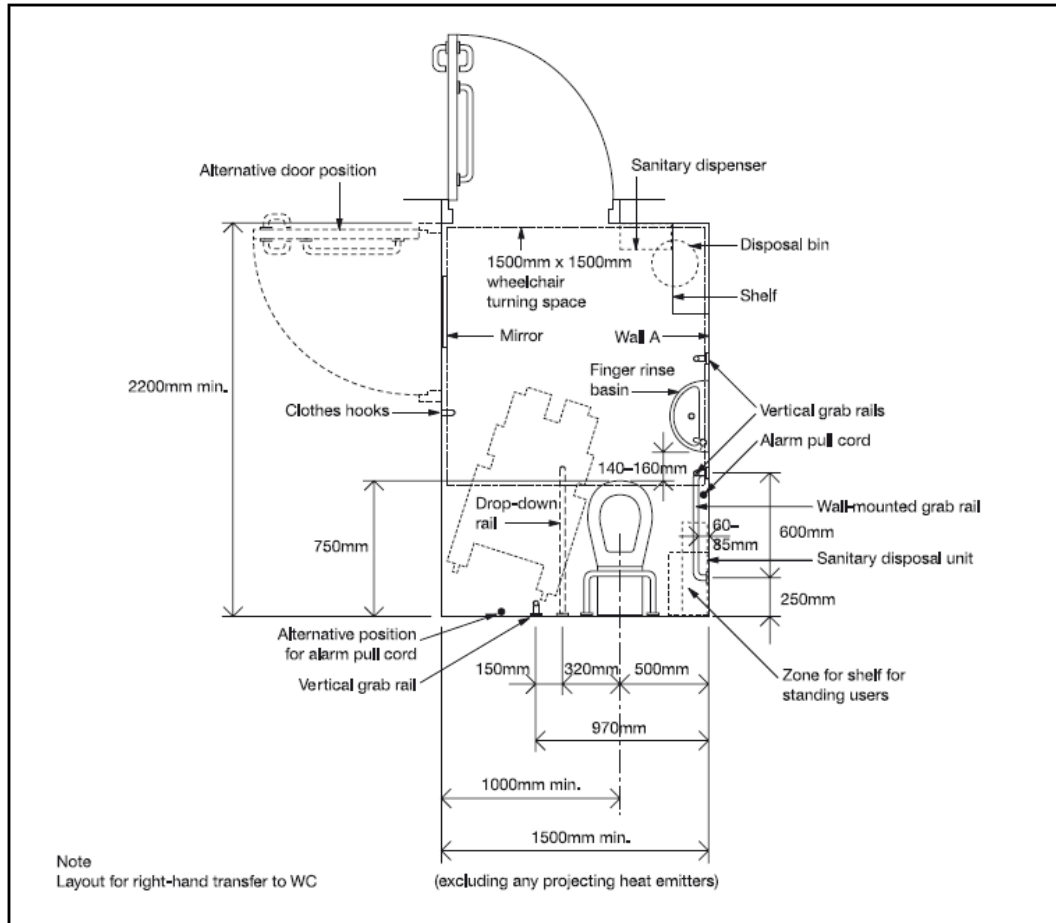
Accessible WC Layout

Changing Places WC Layout

Changing Places WC Threshold Criteria

Accessible WC Layout extract from The Building Regulations Approved Document M

Diagram 18 Unisex wheelchair-accessible toilet with corner WC



Changing Places WC area/ user number thresholds and recommended locations

extract from The Building Regulations Approved Document M, amendment issued Jan 23

5.7 e. at least one changing places toilet is provided in the following types of building:

- i. retail premises with a gross floor area of 5,000m² or more;
- ii. assembly, recreation and entertainment buildings (see note) with a capacity for 10,000 or more people; or a collection of smaller buildings associated with a site used for assembly, recreation or entertainment, such as zoos, theme parks and venues for sport and exhibitions, with a capacity of 2,000 people or more;
- iii. cinemas/theatres/concert halls with a capacity of 350 or more;
- iv. schools with a gross floor area of more than 4,000m², which will contain community facilities;
- v. hospitals
- vi. sport and leisure buildings with a gross floor area more than 4000m²;
- vii. hotels, which are open to the public for the purpose of assembly, recreation or entertainment or leisure with a gross floor area more than 4,000m².

Note: Places of assembly, recreation and entertainment can be defined as buildings such as:

- Amusement arcades;
- Art galleries;
- Cinemas;
- Concert halls;
- Conference centres;
- Further education colleges;
- Hotels that provide function, sport or leisure facilities;
- Libraries open to the public;
- Museums;
- Places of worship;
- Theatres;
- University buildings open to the public.

Or any other buildings or sites as defined by these thresholds, which are open to the public and used for the purposes of assembly, recreation and entertainment.

Capacities should be derived from the combined total of a building's publicly accessible facilities. Alternatively, the capacity number may be taken as the number of fixed seats provided, if the occupants of the building will normally be seated.

Approved Document B, Volume 2 provides a method for estimating the capacity of a building where this is not known.

Appendix C

Budget Costs

My Day My Life Day Service Accommodation		
Options Appraisal for MCC		
Final, 28.09.23		
Site Option 1:Tudor Street Building		Budget cost
a	Resurface/ remark car park (part) 225m2	£ 4,500.00
b	New lighting over car park/ approach path	£ 5,000.00
c	Refurbish approach path, rake out and repoint slabs. Provide handrail to ramp	£ 800.00
d	Provide accessible tea point	£ 2,500.00
e	Upgrade/ refurbish external areas.	
	Cut back vegetation/ remove tree	£ 1,200.00
	New surface to terrace decking/ tarmac (50m2)	£ 4,000.00
	Replace footpaths with wider paths	£ 6,000.00
	Provide handrail along inclined path/ improve gradient to inclined path (provide zig zag path)	inc above
f	Improve WC facilities	
	Exact scope TBC with the aim of improving manoeuvring space and provision of WC, changing, hoist and shower all in one room for Changing Places WC, plus a separate compliant corner layout accessible WC facility	£ 80,000.00
g	Redecoration generally throughout the building	£ 15,000.00
h	M&E Services	
	Replace radiators with LST type (risk based approach, corridors/ WC areas)	£ 10,000.00
	Lower light switches where feasible	£ 1,500.00
	Flashing fire alarms to toilet areas	inc
		Works total £ 130,500.00
		Prelims £ 19,575.00
		fees no allowance
		Scheme total budget cost £ 150,075.00
Site Option 2: Melville Theatre		Budget cost
a	Resurface/ remark car park (part) 300m2	£ 6,000.00
b	New lighting over car park/ approach path	£ 4,000.00
c	Widen approach path, eliminate drop at the edge	£ 700.00
d	Replace entrance doors/ fit powered operation	£ 6,000.00
e	Creation of Changing Places WC with facility which includes corner layout WC (compromise solution). Assumes existing accessible WC is taken out as part of this work	£ 85,000.00
f	Provision of protected fire refuge area with evac chair at main entrance	£ 6,000.00
g	Classroom: Provide accessible tea point, and replace flooring to part of the classroom with sheet vinyl	£ 3,500.00
h	M&E Services	
	Replace radiators with LST type (risk based approach eg corridor)	£ 5,000.00
	Lower light switches where feasible	£ 1,500.00
	Flashing fire alarms to toilet areas	inc
		Works total £ 117,700.00
		Prelims £ 17,655.00
		fees no allowance
		Scheme total budget cost £ 135,355.00

		Budget cost
Site Option 3: Abergavenny Community Centre (former Park Street school)		Budget cost
a	Resurface/ remark car park (part) 250m2	£ 5,000.00
b	Either provide ramp from car park to building, or provide drop off area at the upper level	£ 20,000.00
c	Replace entrance doors to the Changing Places WC area/ Fit powered operator to the doors	£ 6,000.00
d	Full refurb/ refit of existing Changing Places WC	£ 50,000.00
e	Improvements to external ramps	£ 3,000.00
f	Upgrade to Accessible WC	£ 2,500.00
g	Replace steep ramp in corridor with platform lift	£ 35,000.00
h	Classroom: Provide accessible tea point, rehang door on opposite hand, replace floor finish to part of the room with sheet vinyl	£ 4,000.00
i	Provision of protected fire refuge to achieve secondary means of escape	£ 6,000.00
j	M&E Services	
	Replace radiators with LST type (risk based approach eg corridor)	£ 5,000.00
	Lower light switches where feasible	£ 1,500.00
	Flashing fire alarms to toilet areas	inc
	Works total	£ 138,000.00
	Prelims	£ 20,700.00
	fees	no allowance
	Scheme total budget cost	£ 158,700.00
Site Option 4: Overmonnow Family Learning Centre		Budget cost
a	Improve pedestrian access into the site off the highway (inc lighting)	£ 15,000.00
b	Replace ramp and steps to main entrance	£ 6,000.00
c	Full remodelling/ refurb of toilet area to accommodate Changing Places WC facility (compromise solution with WC in corner of room).	£ 90,000.00
	Works total	£ 111,000.00
	Prelims	£ 16,650.00
	fees	no allowance
	Scheme total budget cost	£ 127,650.00
Site Option 5: Monnow Vale Health & Social Care Centre		Budget cost
a	Provide Changing Places WC facility	£ 65,000.00
b	Reconfigure suite to provide improved activity space, include for replacement floor finishes and redecoration	£ 6,000.00
c	Reprovide tea point	£ 1,000.00
d	Replace double fire exit doors with single leaf access door and provide new ramped approach to access door	£ 7,500.00
	Works total	£ 14,500.00
	Prelims	£ 2,175.00
	fees	no allowance
	Scheme total budget cost	£ 96,175.00
Site Option 6: Bridges Centre, Drybridge House		Budget cost
a	Upgrade works to parking/ external approach	£ 15,000.00
b	Enlarge/ convert and refurb existing changing places WC	£ 65,000.00
c	Classroom: Provide accessible tea point	£ 2,000.00
d	Resurfacing works and drainage improvements outside fire exit door	£ 7,500.00
	Works total	£ 89,500.00
	Prelims	£ 13,425.00
	fees	no allowance
	Scheme total budget cost	£ 102,925.00